



MANLY

** All illustrations & floor plans are artistic impressions & should only be used as a visual aid.*

 4
  2
  2
  6



LOT 19
 SIZE 35100m²
 PRICE \$426,200



DESIGN MANLY
 SIZE 199.78m²
 PRICE \$351,300



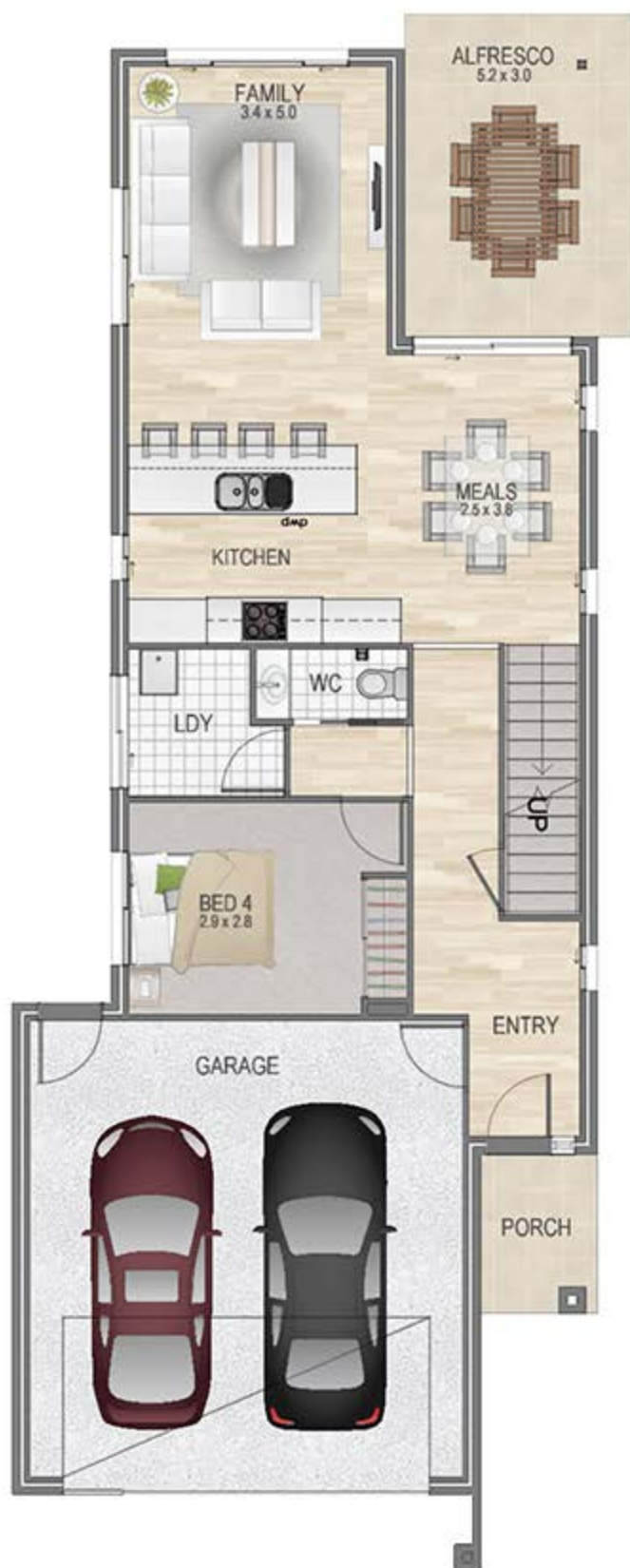
\$777,500

***Package price is subject to availability & subject to change without notice. Furniture shown is for illustrative purpose only & is not included in the purchase price.*

Lot 19
 Martin Close Subdivision
SOUTH MORANG



House & Land Package





CONTRACT HOUSE & LAND PRICING

Site Details

Property Address: Lot 19 Martin Close Subdivision

Suburb: SOUTH MORANG

Site Area: 351 sqm

Frontage: 10.5 Lm

House Detail



SITE AND ESTATE TRIGGERED COSTS

Future NBN connectivity	\$500.00
Site cut and Soil removal for 1.5m to 2.0m fall across house pad	\$3,120.00
P Class Soil	\$6,200.00
Engineered retaining to form a level pad Provisional Sum	\$38,480.00
Costs associated with Zero Boundary	\$700.00
Piers to natural ground in fill zone	\$1,170.00
Removal of surplus site scrape materials	\$1,200.00
Bushfire Attack Level 12.5	\$4,500.00
Drop Edge Beam on Garage Wall	\$1,583.00
SubTotal	\$57,453.00

HOUSE INCLUSION UPGRADES

Ext finish: Brick veneer construction with multiple materials for a high quality finish - see sales plans	\$2,088.00
Hotwater: Solar hot water system with gas booster 5 star	\$3,776.00
Community Infrastructure Levy	\$1,000.00
Additional garage area to comply with FF Setback	\$2,176.00
Large Gable	\$949.00
Frosted glass window in habitable room = 2	\$750.00
SubTotal	\$10,739.00

TOTALS

House Total	\$351,300.00
Land Price	\$426,200.00
Package Total	\$777,500.00

For Sale

Signature

Signature

Date

Date

Printed Date 29/03/2018 04:05



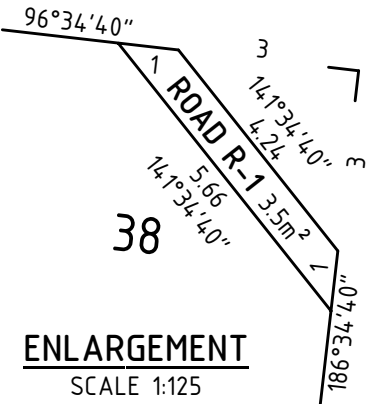
ITEMS INCLUDED IN THE CONTRACT PRICE

- Contract: Full Turnkey
- Roof: Shaped profile concrete tile
- Ceiling height: 2.44m
- Kitchen bench tops: 20mm Engineered stone kitchen bench tops
- Hotplate: Stainless steel 60cm Gas cooktop
- Outdoor Living Area: Under Roof if included on plans
- Lighting/ fan package: White downlights throughout house
- Kitchen: Stainless Steel Appliances
- Dishwasher: Included to match appliances
- Hotwater: Solar with Gas Booster
- Security package: Flyscreens to windows
- Air conditioning: 1 Split System & ducted gas heating
- Internal doors: Flush Panel
- Wardrobes: Full Height Built-ins For Easy Storage
- Tapware: Flick Mixers
- External Concrete: Coloured Concrete
- Window Cov: Roller Blinds To Windows & Sliding Doors Excl. Wet Areas
- Floor Coverings: Tile & Carpet Flooring
- Metal Letterbox
- Internal Door Handles: Whitco Bevel Satin Chrome
- Architrave & Skirting: Pencil Round
- Landscaping: Full Package
- Landscaping: Standard landscaping package
- Fencing to complete property

WARRANTIES

- Full Internal and External Commercial quality clean on completion
- 6.5 years structural guarantee
- 12 months guarantee on materials and workmanship
- Appliances covered by manufacturers warranty

MGA 94 ZONE 55

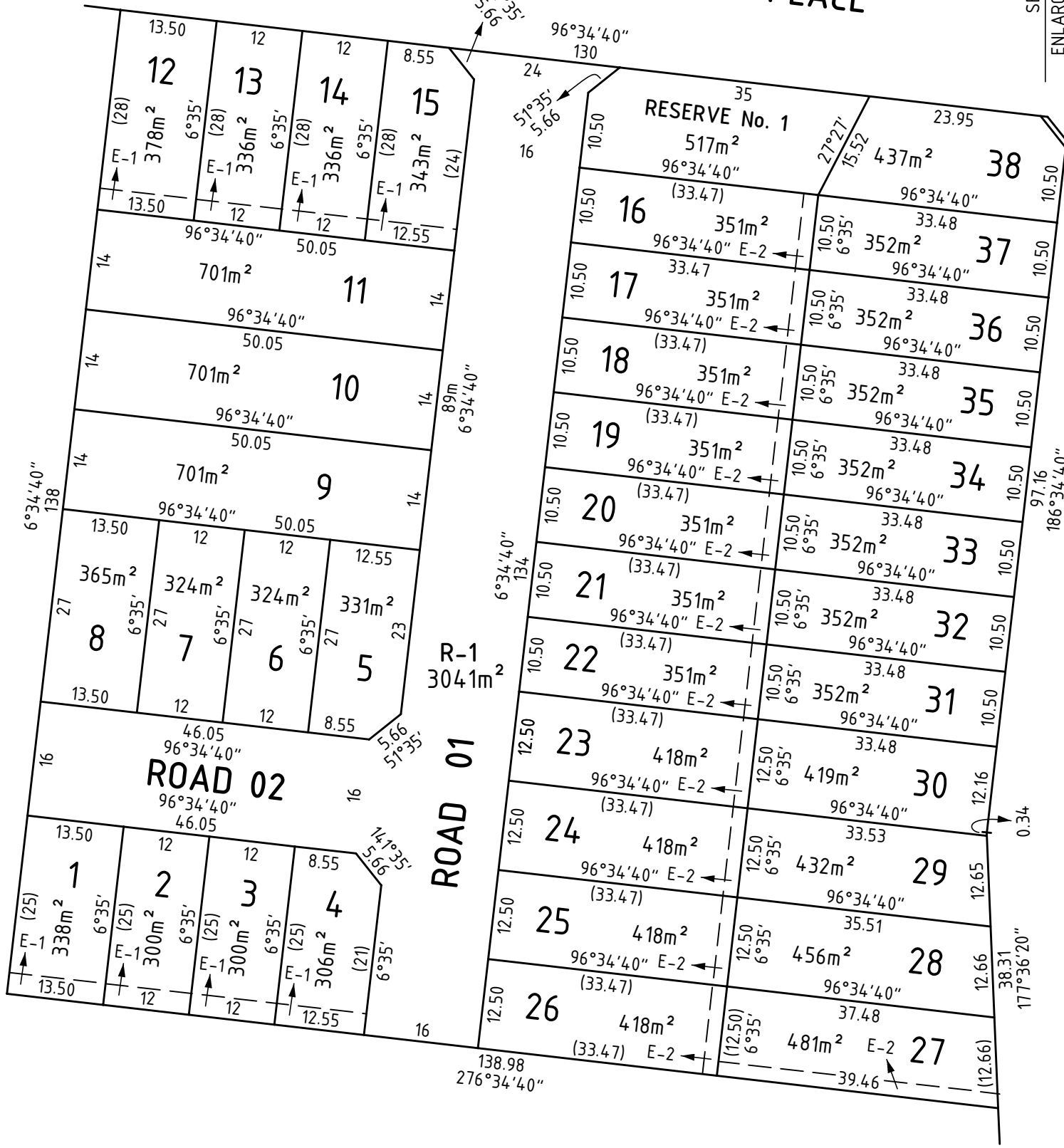


ENLARGEMENT
SCALE 1:125

SEE
ENLARGEMENT

GIRVAN

PLACE



CLOSE

MARTIN



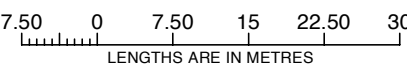
FarrenGroup
Creating New Boundaries

74 Maribyrnong Street
Footscray 3011

Phone 9689 1000
Fax 9689 1002
admin@farrengroup.com.au

LAND SURVEYING - TOWN PLANNING - HYDROGRAPHIC MAPPING

SCALE
1:750



LICENSED SURVEYOR: ROBERT J. SIGNORINI

REF: 10637
VERSION: 01

ORIGINAL SHEET
SIZE: A3

SHEET 2

Structural footings are to be a minimum 1200mm horizontally from sewer and stormwater infrastructure including house Connections AND be founded a minimum 300mm below the zone of influence.

All floor levels and other site specific details are design details only and are subject to change due to construction tolerances and site variables.

DISCLAIMER:

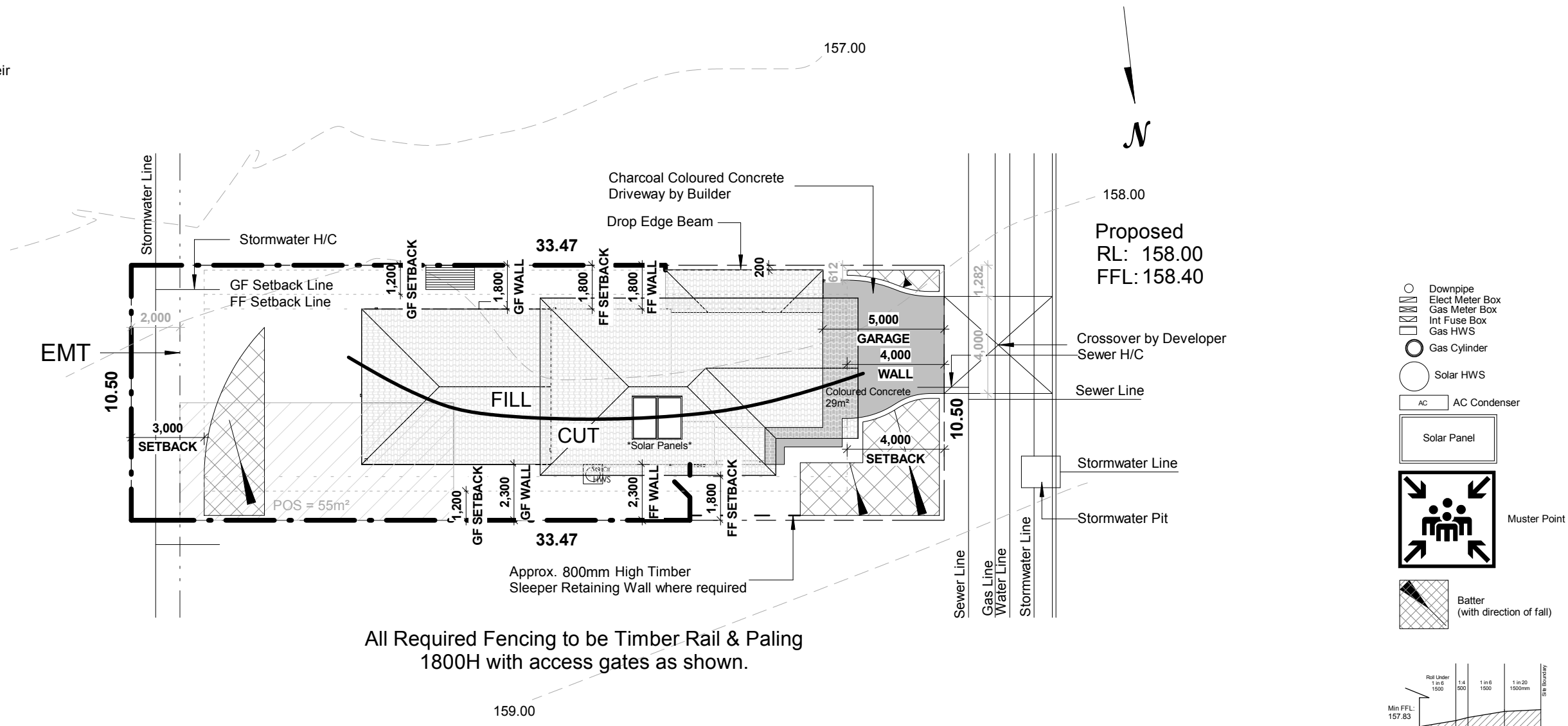
Site levels, services and existing structures are supplied by others, therefore Impact Homes takes no responsibility for their accuracy. The builder should verify all details before commencing work.

NOTE

PLANS AND COSTING ARE SUBJECT TO CHANGE UPON COMPLETION OF PROPERTY BOUNDARY IDENTIFICATION SURVEY; CONTOUR SURVEY; SURVEYED LOCATION OF NEIGHBOURING DWELLINGS; COVENANT/CERTIFICATION/COUNCIL FEEDBACK AND ENVIRONMENTAL OVERLAYS/HAZARDS.

IMPORTANT NOTE:

NBN estate - National Broadband Network. Please see the job supervisor to ensure the correct method of installation is implemented.



Site Plan

1

1 : 200



CLIENT

Lot 19 Martin Close Subdivision
SOUTH MORANG VIC 3752

SP

DRAWING DETAILS	PROPERTY DESCRIPTION
--------------------	-------------------------

Parish:
County:
Map Ref:
Local Authority:
Wind Rating:
Area of Land:
Site coverage:

Job Number:
Issue:
Date:

Whittlesea City Council

DESIGN: Manly (MOD)

SECTION DET.	Ceiling GF	2440
	Ceiling FF	2440
	Ceiling SF	
	Roof Pitch	25.00°
	Roof Material	Concrete Tile
	Eave O'hang	450

02 SITE

1 : 200

CLIENT SIGN.

SIGN:

DATE: / /

This plan may not be copied in part or in whole without the written permission of Impact Homes Pty Ltd.
© Copyright 2014 Impact Homes Pty Ltd.

WINDOWS

Unless dimensioned all windows are to be centred to the room in which they are located. IF a window is NOT centred OR dimensioned - ASK the job supervisor

NOTE

PLANS AND COSTING ARE SUBJECT TO CHANGE UPON COMPLETION OF PROPERTY BOUNDARY IDENTIFICATION SURVEY; CONTOUR SURVEY; SURVEYED LOCATION OF NEIGHBOURING DWELLINGS; COVENANT/CERTIFICATION/COUNCIL FEEDBACK AND ENVIRONMENTAL OVERLAYS/HAZARDS.

Floor Areas

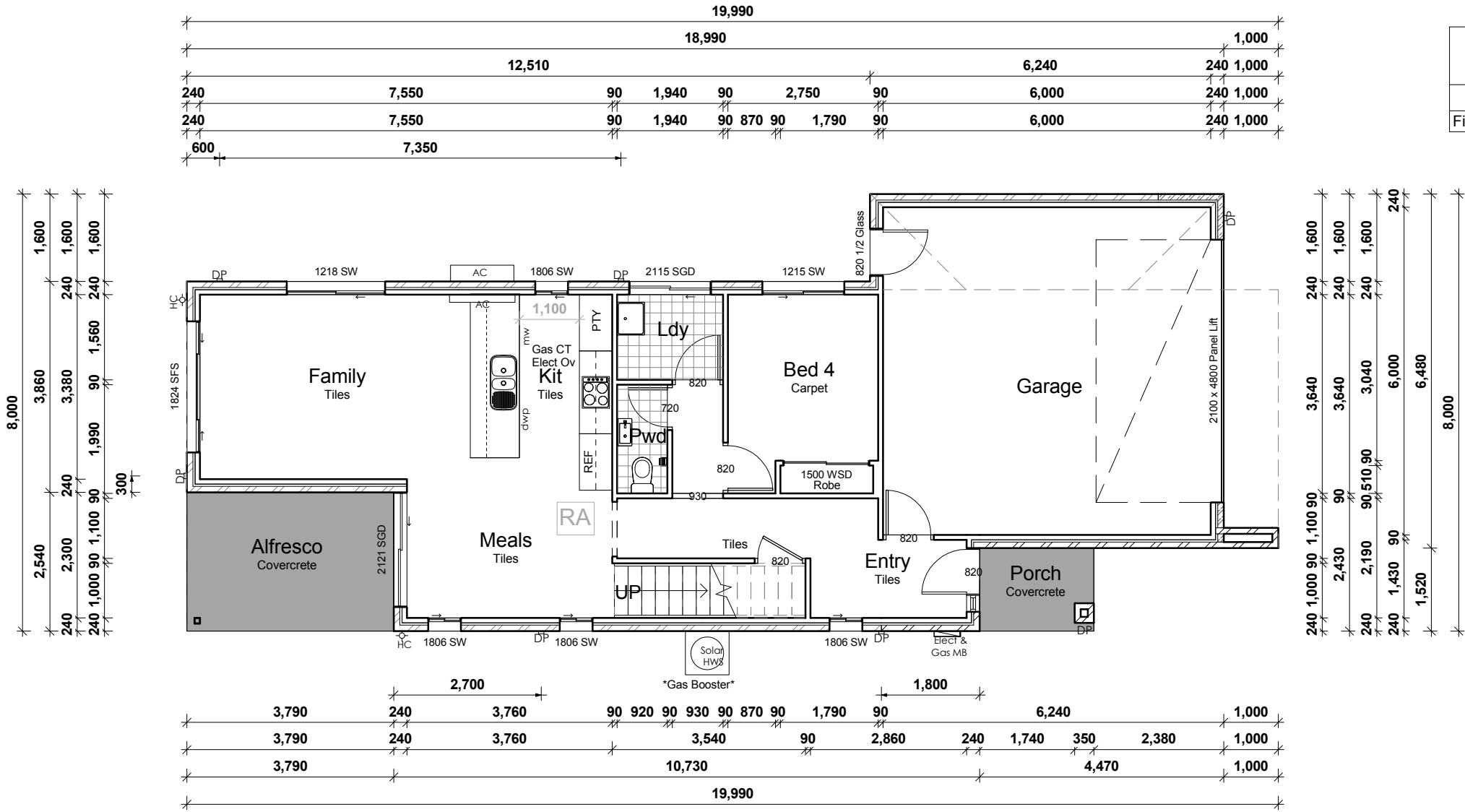
GF Living	75.09 m²
Garage	40.39 m²
Alfresco	9.63 m²
Porch	3.18 m²
FF Living	71.49 m²
199.78 m²	

Ceiling Schedule

GF Ceiling	102.76 m²
FF Ceiling	65.96 m²
168.72 m²	

Wall Material Takeoff

Material	Area
Finishes - Interior - Plasterboard	550.07 m²



1

Ground Floor Plan

1 : 100



SITE ADDRESS	CLIENT	PROPERTY DESCRIPTION	Parish:	Whittlesea City Council	CONSTRUCTION DET.	DESIGN: Manly (MOD)		03a	GROUND FLOOR	1 : 100	CLIENT SIGN.	SIGN: _____																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																												
			County:				Ceiling GF					2440																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																												

WINDOWS

Unless dimensioned all windows are to be centred to the room in which they are located. IF a window is NOT centred OR dimensioned - ASK the job supervisor

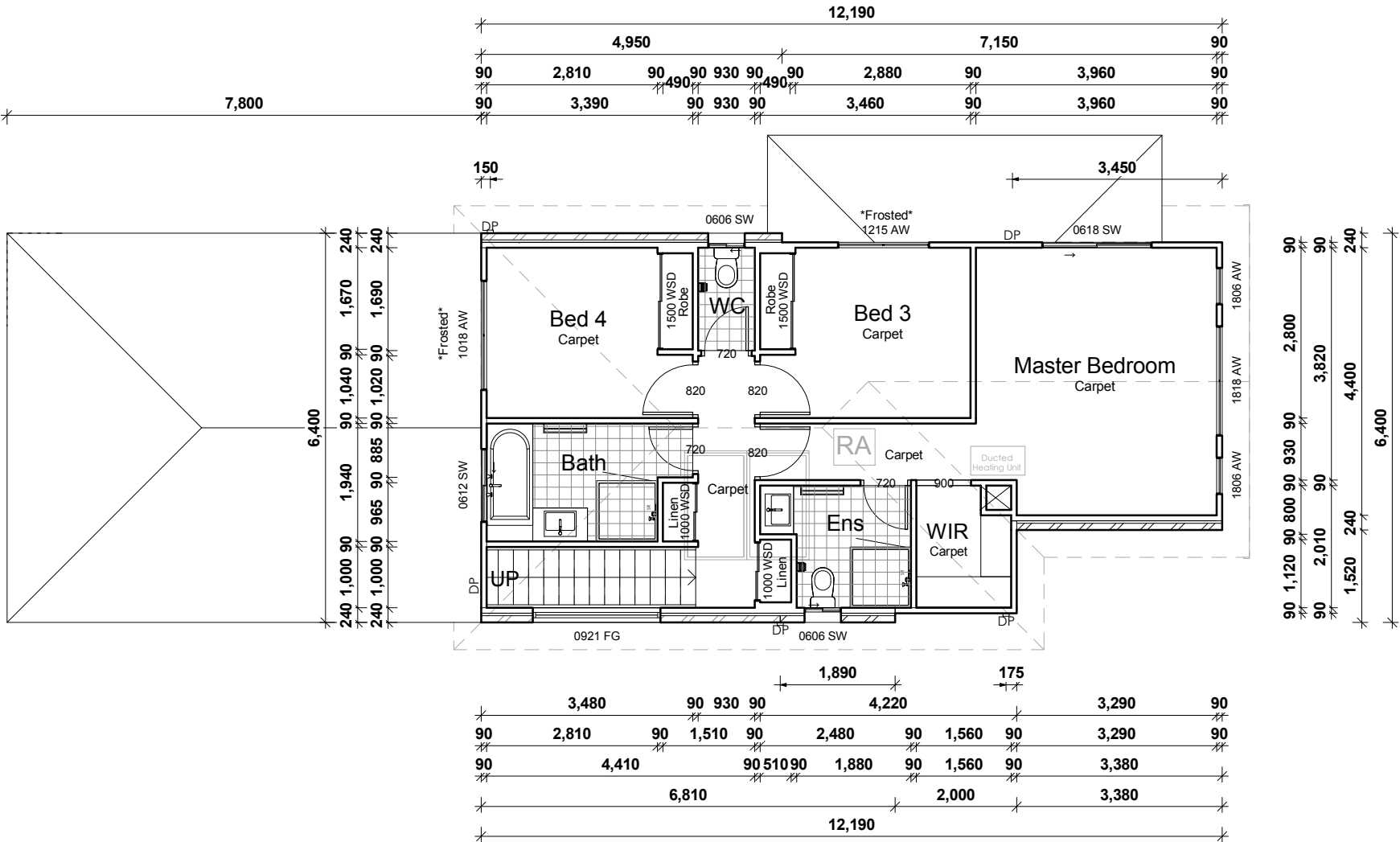
NOTE

PLANS AND COSTING ARE SUBJECT TO CHANGE UPON COMPLETION OF PROPERTY BOUNDARY IDENTIFICATION SURVEY; CONTOUR SURVEY; SURVEYED LOCATION OF NEIGHBOURING DWELLINGS; COVENANT/CERTIFICATION/COUNCIL FEEDBACK AND ENVIRONMENTAL OVERLAYS/HAZARDS.

Floor Areas	
GF Living	75.09 m²
Garage	40.39 m²
Alfresco	9.63 m²
Porch	3.18 m²
FF Living	71.49 m²
199.78 m²	

Ceiling Schedule	
GF Ceiling	102.76 m²
FF Ceiling	65.96 m²
	168.72 m²

Wall Material Takeoff	
Material	Area
Finishes - Interior - Plasterboard	550.07 m²



1 First Floor Plan

1 : 100

SITE ADDRESS

CLIENT

Lot 19 Martin Close Subdivision
. SOUTH MORANG . VIC . 3752

SP

DRAWING DETAILS

PROPERTY DESCRIPTION

Parish:
County:
Map Ref:
Local Authority:
Wind Rating:
Area of Land:
Site coverage:

Whittlesea City Council
351m2
37%

Job Number:
Issue:
Date:

135545
Prelim Plans
26/03/2018

DESIGN: Manly (MOD)

CONSTRUCTION DET.

Ceiling GF
Ceiling FF
Ceiling SF
Roof Pitch
Roof Material
Eave O'hang

2440
2440
25.00°
Concrete Tile
450

03b FIRST FLOOR

1 : 100

AMENDMENTS

#	DATE	DESCRIPTION

CLIENT SIGN.

SIGN: _____

DATE: ____/____/____

This plan may not be copied in part or in whole without the written permission of Impact Homes Pty Ltd.
© Copyright 2014 Impact Homes Pty Ltd.

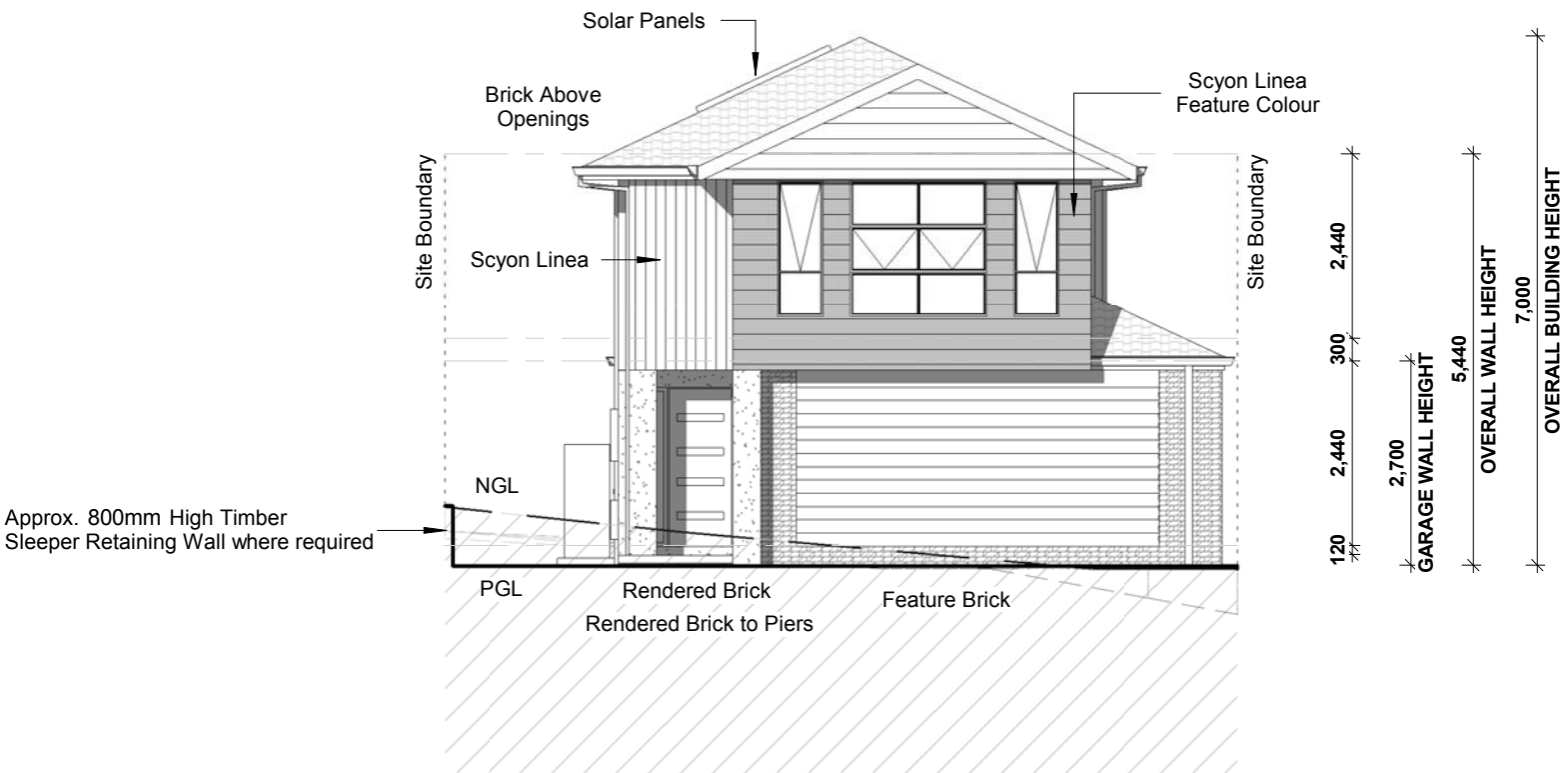
NOTE

PLANS AND COSTING ARE SUBJECT TO CHANGE UPON COMPLETION OF PROPERTY BOUNDARY IDENTIFICATION SURVEY; CONTOUR SURVEY; SURVEYED LOCATION OF NEIGHBOURING DWELLINGS; COVENANT/CERTIFICATION/COUNCIL FEEDBACK AND ENVIRONMENTAL OVERLAYS/HAZARDS.

1

Elevation A

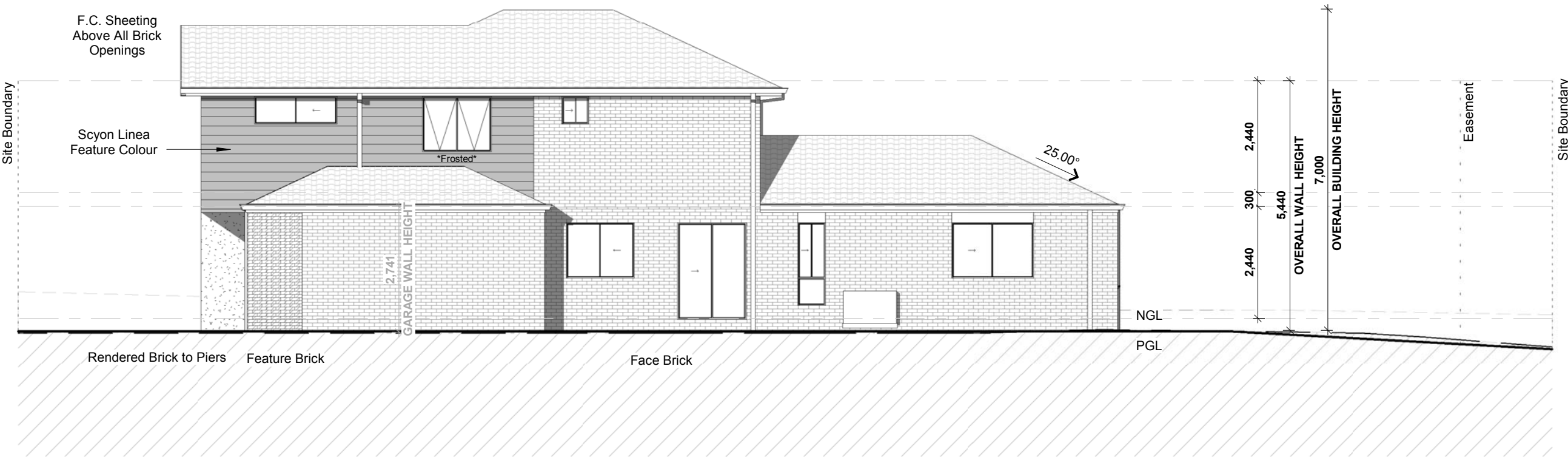
1 : 100



2

Elevation B

1 : 100



CLIENT	
SITE ADDRESS	Lot 19 Martin Close Subdivision . SOUTH MORANG . VIC . 3752
	SP

DRAWING PROPERTY DETAILS	DESCRIPTION	Parish: County: Map Ref: Local Authority: Whittlesea City Council
		Wind Rating: 351m2
		Area of Land: 37%
		Site coverage: 135545
		Job Number: Prelim Plans
		Issue: 26/03/2018
		Date:

DESIGN: Manly (MOD)		
CONSTRUCTION DET.	Ceiling GF	2440
	Ceiling FF	2440
	Ceiling SF	
	Roof Pitch	25.00°
	Roof Material	Concrete Tile
	Eave O'hang	450

04 ELEVATION 1			1 : 100
AMENDMENTS	#	DATE	DESCRIPTION

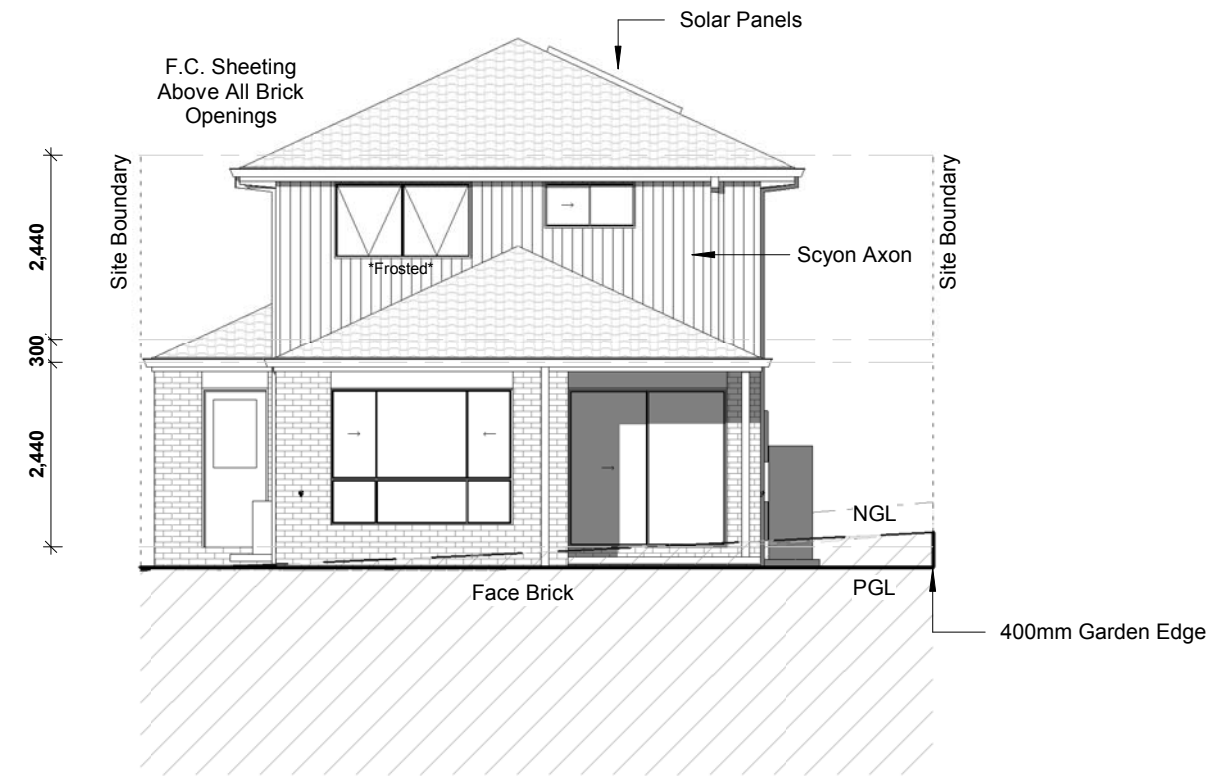
CLIENT SIGN.	SIGN: _____
	DATE: ____/____/____
This plan may not be copied in part or in whole without the written permission of Impact Homes Pty Ltd. © Copyright 2014 Impact Homes Pty Ltd.	

1

Elevation C

1 : 100

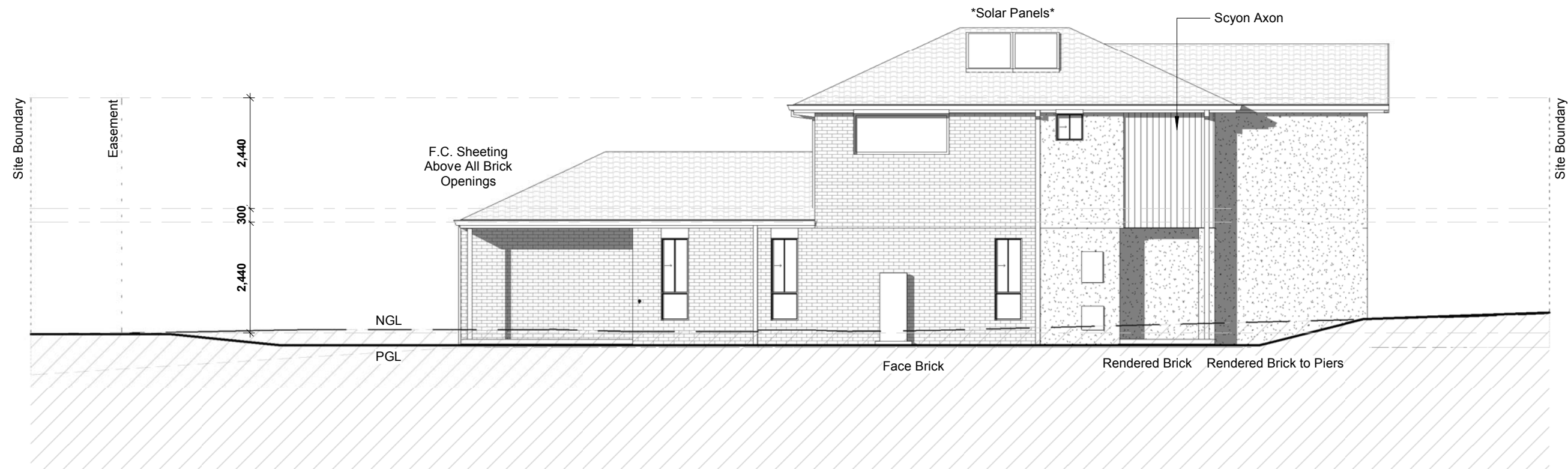
NOTE
PLANS AND COSTING ARE SUBJECT TO CHANGE UPON COMPLETION OF PROPERTY BOUNDARY IDENTIFICATION SURVEY; CONTOUR SURVEY; SURVEYED LOCATION OF NEIGHBOURING DWELLINGS; COVENANT/CERTIFICATION/COUNCIL FEEDBACK AND ENVIRONMENTAL OVERLAYS/HAZARDS.



2

Elevation D

1 : 100



CLIENT	
SITE ADDRESS	Lot 19 Martin Close Subdivision . SOUTH MORANG . VIC . 3752
	SP














































DRAWING PROPERTY DETAILS	DESCRIPTION	Parish: County: Map Ref: Local Authority: Whittlesea City Council
	Wind Rating: Area of Land: Site coverage: 37%	351m2
	Job Number: Issue: Date:	135545 Prelim Plans 26/03/2018

DESIGN: Manly (MOD)	
CONSTRUCTION DET.	Ceiling GF 2440 Ceiling FF 2440 Ceiling SF 2440 Roof Pitch 25.00° Roof Material Concrete Tile Eave O'hang 450

04a ELEVATION 2			1 : 100
AMENDMENTS	#	DATE	DESCRIPTION

CLIENT SIGN.	SIGN: _____
	DATE: ____/____/____
This plan may not be copied in part or in whole without the written permission of Impact Homes Pty Ltd. © Copyright 2014 Impact Homes Pty Ltd.	

Electrical Legend

- | | |
|---|---------------------------|
|  | Erect Meter Box |
|  | Gas Meter Box |
|  | Fuse Box (Int) |
|  | Gas HWS |
|  | Solar HWS |
|  | AC Condenser |
|  | AC Head Unit |
|  | Gas Cylinder |
|
 | |
|  | Solar Panel |
|
 | |
|  | Ceiling Fan |
|  | Ceiling Fanlight (Fluro) |
|  | Exhaust 3 in 1 |
|  | Exhaust Fan |
|  | Exhaust Fanlight |
|  | Smoke Detector |
|
 | |
|  | Sgl Fluro Tube 18w |
|  | Dbl Fluro Tube 36w |
|  | Sgl Globe Fluro Oyster |
|  | Dbl Globe Fluro Oyster |
|  | Downlight 240V |
|  | Downlight 12V Low Voltage |
|  | Downlight 12V Pendant |
|  | Downlight Low V Fluro |
|  | Eyeball Light |
|  | Wall Light |
|  | Bunker Light (External) |
|  | Flood Light (Eave) |
|  | Flood Light (Wall) |
|  | Sensor |
|  | Sensor Flood Light |
|  | Batten Holder |
|  | Single GPO |
|  | Double GPO |
|  | Roof Single GPO |
|  | Waterproof Single GPO |
|  | Waterproof Double GPO |
|  | Gas Outlet |
|  | TV Point |
|  | Pay TV Point |
|  | Phone Point |
|  | Data Point |
|  | Door Chime Button |
|  | Door Chime Speaker |
|  | Dimmer Switch |
|  | Isolation Switch |

Electrical points positions
subject to construction
constraints

GF Electrical Plan

1 : 100

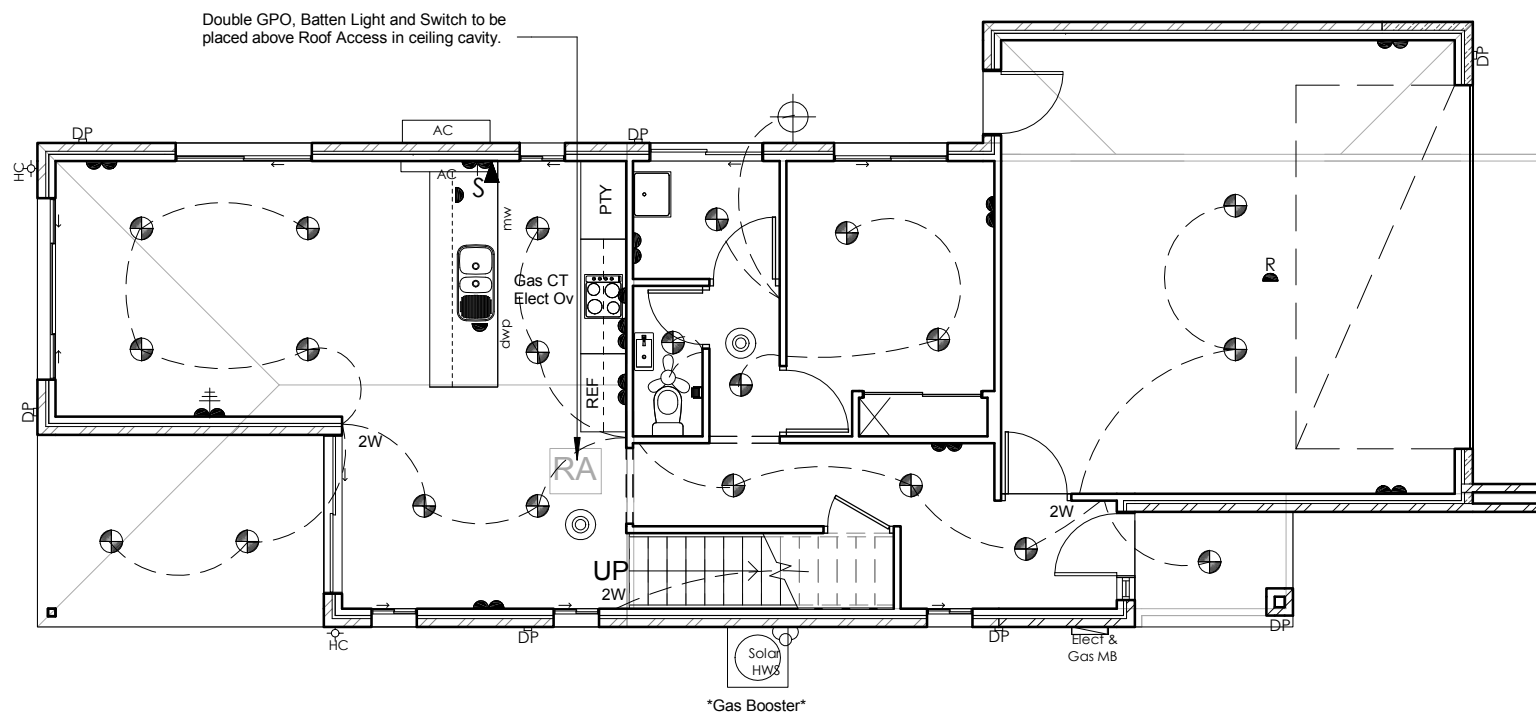
NOTE

PLANS AND COSTING ARE SUBJECT TO CHANGE UPON COMPLETION OF PROPERTY BOUNDARY IDENTIFICATION SURVEY; CONTOUR SURVEY; SURVEYED LOCATION OF NEIGHBOURING DWELLINGS; COVENANT/CERTIFICATION/COUNCIL FEEDBACK AND ENVIRONMENTAL OVERLAYS/HAZARDS.

IMPORTANT NOTE:

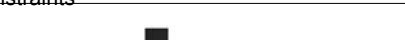
NBN estate - National Broadband Network. Please see the job supervisor to ensure the correct method of installation is implemented.

Ducted Heating Throughout



Electrical Fixture Schedule		
Count	Family	Type
37	Light Downlight	240V
17	GPO	Double
4	Fan	Exhaust Fan
1	Isolation Switch	Isolation Switch
1	Service Point	Phone
3	GPO	Single
1	GPO	Single Roof
4	Service Point	Smoke Detector
2	Service Point	TV
1	Light Point	Wall
1	GPO	Waterproof Single

72

	CLIENT		PROPERTY DESCRIPTION DRAWING DETAILS	Parish: County: Map Ref: Local Authority: Whittlesea City Council Wind Rating: Area of Land: 351m2 Site coverage: 37%	DESIGN: Manly (MOD) CONSTRUCTION DET. Ceiling GF 2440 Ceiling FF 2440 Ceiling SF Roof Pitch 25.00° Roof Material Concrete Tile Eave O'hang 450	08 GF ELECTRICAL			1 : 100	CLIENT SIGN.	SIGN: _____
	SITE ADDRESS	Lot 19 Martin Close Subdivision . SOUTH MORANG . VIC . 3752 SP		Job Number: 135545 Issue: Prelim Plans Date: 26/03/2018		AMENDMENTS	#	DATE	DESCRIPTION		DATE: ____/____/____
This plan may not be copied in part or in whole without the written permission of Impact Homes Pty Ltd. © Copyright 2014 Impact Homes Pty Ltd.											

